

EAST MANCHESTER TOWNSHIP

RESIDENTIAL DECK PERMIT APPLICATION

ZONING REQUIREMENTS:

255.21. ACCESSORY STRUCTURES AND USES. (UNENCLOSED ATTACHED STRUCTURES)

- SHALL CONFORM TO THE MINIMUM YARD REGULATIONS ESTABLISHED IN THE ZONING DISTRICT, EXCEPT AS PERMITTED BELOW.
- AS LONG AS IT IS UNCOVERED AND IS NOT REQUIRED FOR STRUCTURAL SUPPORT, MAY PROJECT INTO THE FRONT SET BACK BY NOT MORE THAN 4 FEET.
 - AND INTO THE REQUIRED SIDE AND REAR SETBACKS UP TO 15 FEET, BUT NO CLOSER THAN 10 FEET TO A SIDE LOT LINE OR 15 FEET TO A REAR LOT LINE.
- IF THE DECK IS NO MORE THAN 30" IN HEIGHT AND HAS NO PROPOSED ROOF AND MEETS ALL ZONING REQUIREMENTS, THEN NO UCC BUILDINGS INSPECTIONS ARE NEEDED FROM THE 3RD PARTY CONTRACTOR.
 - SKIP ALL STEPS THAT REQUIRE UCC BUILDING INSPECTIONS/REQUIREMENTS IF YOUR DECK IS NOT TALLER THAN 30" IN HEIGHT AND HAS NO ROOF.

UCC BUILDING CODE REQUIREMENTS:

- CALL COMMONWEALTH CODE INSPECTION SERVICE @717-846-2004
- YOU MAY LOOK UP THE INTERNATIONAL RESIDENTIAL CODE 2009 FOR PENNSYLVANIA
- YOU MAY SEE THE ATTACHED DRAWINGS FOR ACCURATE BUILDING CODE REQUIREMENTS.

The following shall be required on all residential plans on the back or attached to the application prior to submitting the application.

- Show all property lines, easements and building setbacks. (See examples)
- Show all existing structures with distances.
- Show where the deck will go.
- Show all footers....minimum of 36" in depth.
- If the deck is proposed to be taller than 30" AND/OR has a proposed roof, then it will need detailed plans attached to the permit application.

Next Steps:

- Turn in the application and drawings using the requirements above.
- If the deck is proposed to be taller than 30" in height and/or has a proposed roof, then you will need stamped plans by a design professional.
 - Your plans will go through the Zoning Officer first to check if the setback requirements and other Zoning Codes are being meant.
 - If the Zoning requirements are meant, then the plans will go to the contracted 3rd party, Commonwealth Code Inspections (CCIS).
 - If approved by CCIS then the Zoning Officer will call you with the permit fees to be paid to the township and the separate fees to be paid to the 3rd party contactor before you obtain the permit.
- If the deck is proposed to not be higher than 30" in height and does not have a proposed roof, then you will just need to submit an appropriate drawing on the back of the application.
 - The Zoning Officer will review it for all setback requirements and shall conform to the minimum yard regulations established in your zoning district.
- When you come to pick it up, you will get a receipt and a permit card to hang in a window, which you should be able to see from the street while you are doing the work until after your final inspection.
- You are required to mark off where your deck will go and mark off where your property markers are.
- Call the Zoning Officer to schedule the setback inspection. If your proposal does not require UCC Inspections then skip UCC INSPECTIONS step.
 - **For UCC INSPECTIONS:**
 - After the Zoning Officer completes the setback inspection, they will call you and tell you to go ahead with calling CCIS for their inspections listed in the packet you will receive by them when you pick the permit up.
 - After you followed all instructions from CCIS's packet and they completed all their inspections, they will send a Certificate of Compliance to the Zoning Officer.
 - When your work is complete, you call the Zoning Officer to do their final inspection.
 - The Zoning officer will check and call you to tell you to take the permit card out of your window and to come pick up your Certificate of Use and Occupancy for your deck.
 - **For NO UCC INSPECTIONS:**
 - After the Zoning Officer completes the setback inspection, they will call you and tell you to go ahead with your work.
 - When the work is complete, call the Zoning Officer to do the final inspection.
 - After the Officer completes the inspection, they will call you to take the permits out of the window.

Example

*** Note: UCC Decks need this plan & detailed plans. Non-UCC Decks Only need this plan.**

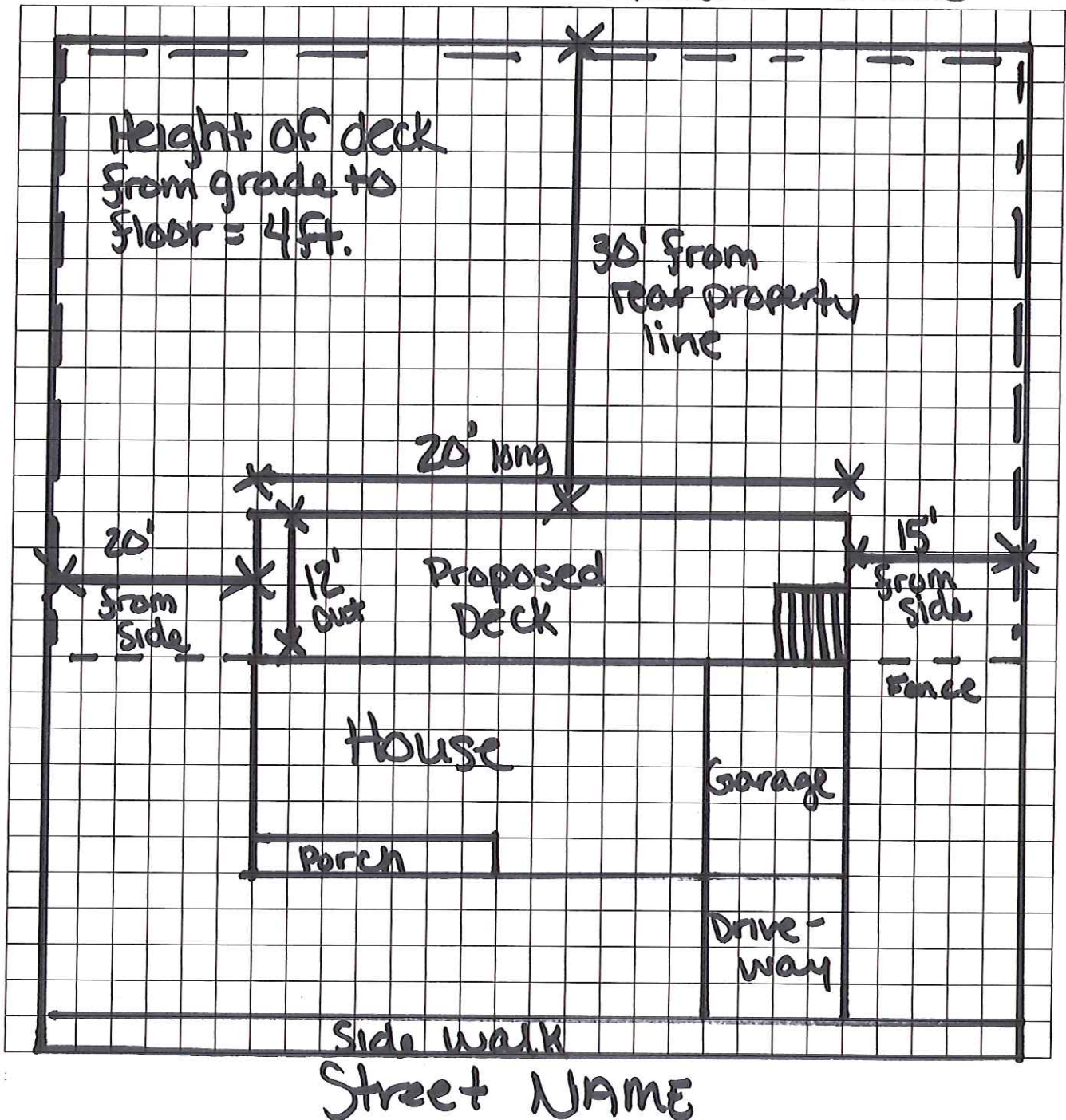
2/14/13 rev.

If Subdivision was approved after August 10, 1999 - I, the applicant, further certify that all intersecting points on the lot which is the subject of this permit have been marked with monuments pursuant to the Code of the Township of East Manchester, Subdivision and Land Development (Chapter 208-61), and that such monuments are accurately placed, and accurately reflect the property corners of the lot. In the event that I am not the owner of the lot, I certify that I am acting as the agent for the owner for purposes of this permit and this certification.

Permit Limitations

1. No permit shall be issued for the building or alteration of any building or structure within the right-of-way limits of any street or highway, with the exception of drainage structures, curbing or pavement.
2. No permit shall be issued unless all building setback lines as specified in the Subdivision and Land Development provisions or any Zoning Ordinances enacted by the Township are met.
3. No permit shall be issued unless all surface drainage of the land, as required, is provided for.
4. No permit shall be issued for any building or alteration of any building or structure upon land in a subdivision unless and until a Final Plan of such subdivision has been approved and properly recorded.
5. No permit shall be issued unless or until any required sewerage permits have been issued.
6. No permit shall be issued for a public occupancy building until plans approved by the Township's UCC agent are submitted to the Township.

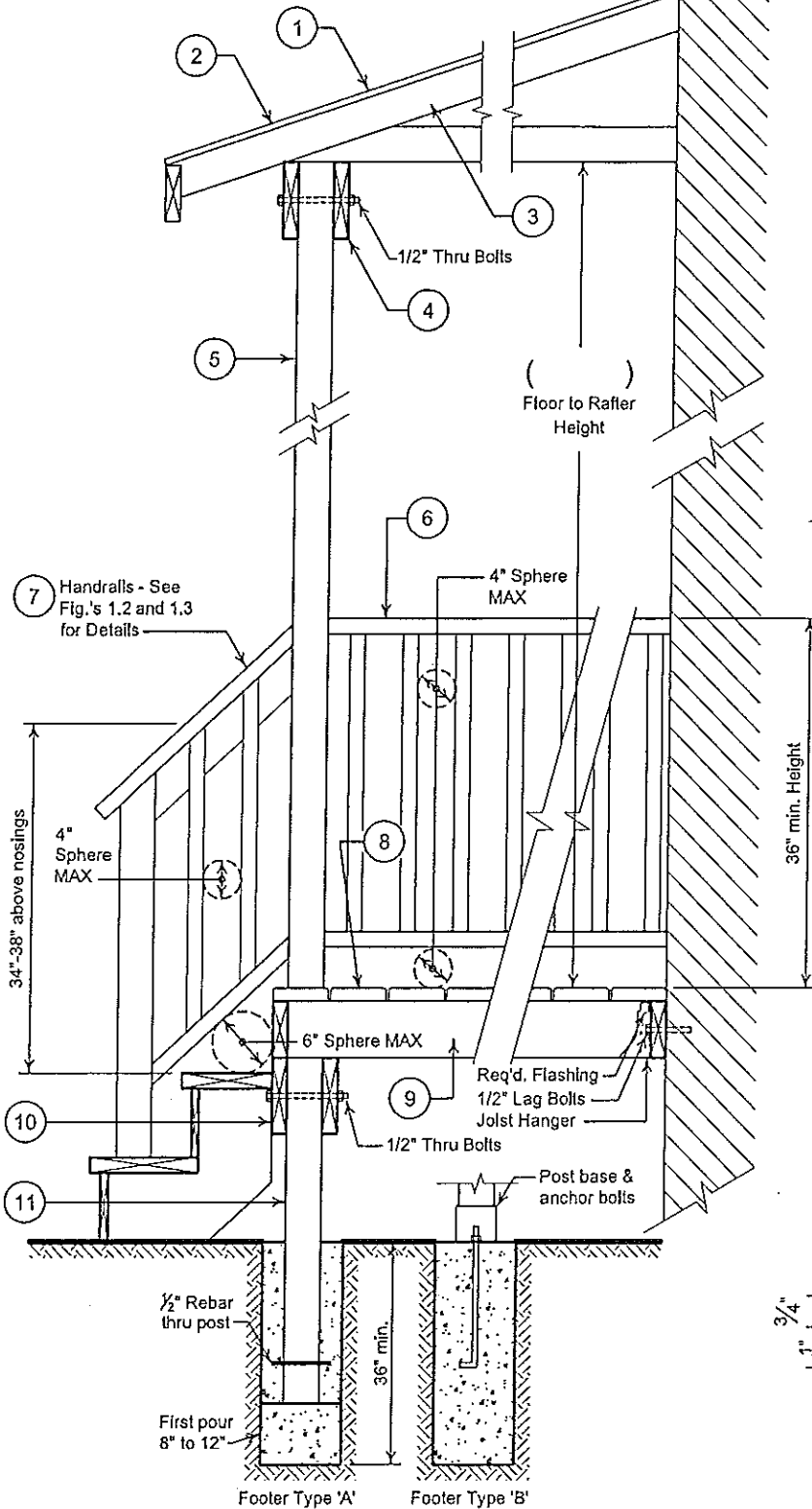
*** Note: Not to scale**



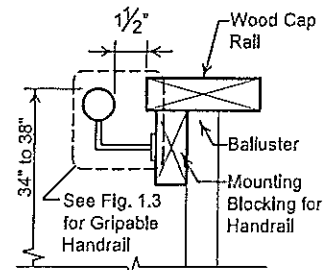
- UCC -

Deck Plan w/ Roof Submittal

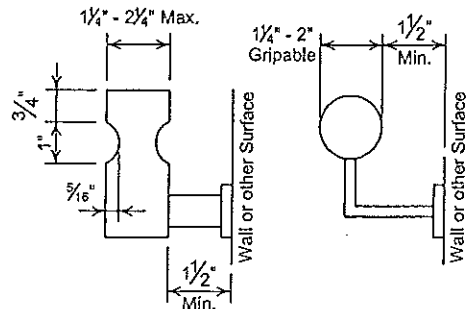
Drawings and Details



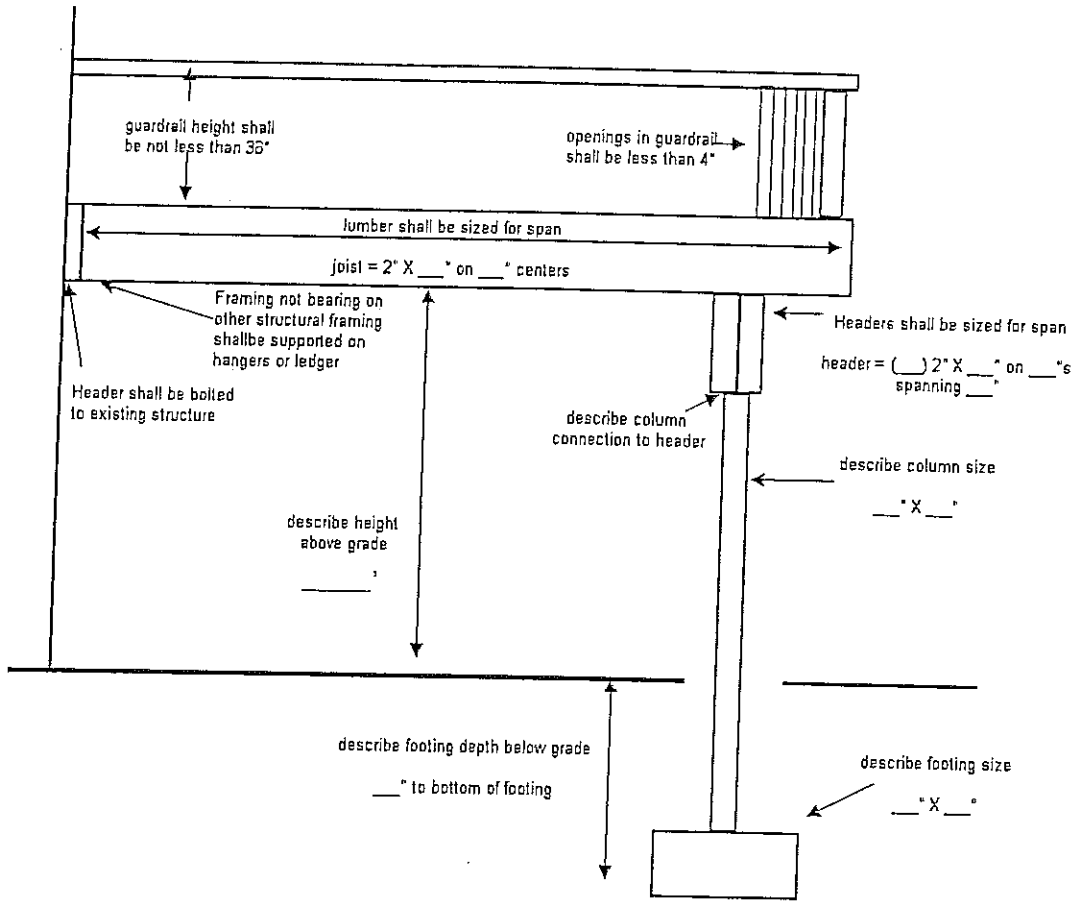
Typical Section
Figure 1.1



Handrail Details
Figure 1.2

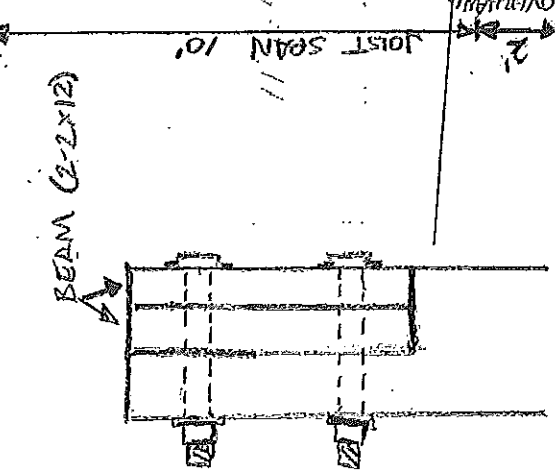
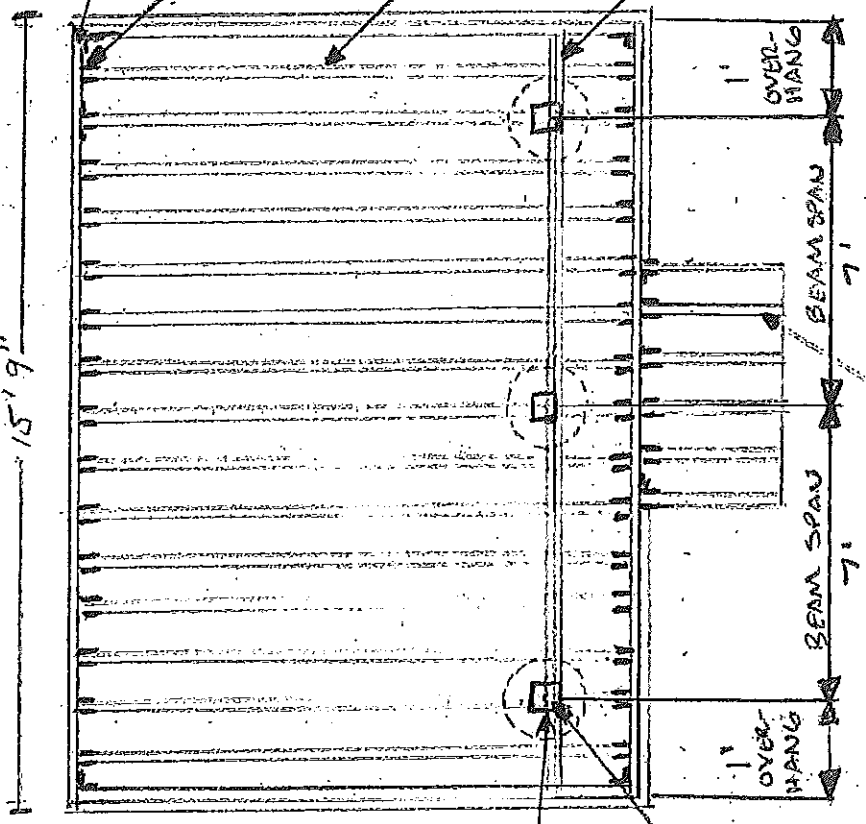


Acceptable Handrail Grips
Figure 1.3



1. Decks lower than 30" above grade do not require a UCC building permit although you must still obtain approval from your local zoning department.
2. Decks 30" and greater above grade require zoning approval and a UCC building permit. The Zoning and UCC building permit application must include the following information as applicable:
 - a. Location of Proposed and Existing Buildings
 - b. Location of Property Lines
 - c. Building Setback Dimensions
 - d. Location and Depth of Building Water Service Pipe (or Well)
 - e. Location and Depth of Building Sewer (or Sewage System for On-Site Facilities)
 - f. Location and Depth of Foundation Drainage Facilities (Drain Fields, if Applicable)
 - g. Location of Driveway (Distance to Property Lines)
 - h. Any buried utilities
 - i. Footings - size, thickness, and depth below grade
 - j. Isolated piers - size and thickness
 - k. Anchors - size and location
 - l. Floor Joist - size, spacing, span, and type of lumber
 - m. Floor Sheathing - thickness and type
 - n. Wall Framing - size and spacing
 - o. Exterior Wall Covering and Insulation
 - p. Bracing
 - q. Headers and lintels - size - drawings of design and spans to be used
 - r. Interior Finish on Wall and Ceiling
 - s. Roof Ventilation
 - t. Roof Pitch
 - u. Rafters and/or Roof Trusses (if used, require shop drawings meeting TPI requirements) size, spacing, span, bracing, and collar ties
 - v. Roof Sheathing - thickness, type, and edge blocking

WOOD SPECIES: SOUTHERN
YELLOW PINE



6x6 POST
NOTCHED
FOR BEAM

6x6
POST
ON 20" ϕ
FOOTER
12" THICK
36" DEEP

2x10 LEDGER BOARD
w/ 1/2" ϕ CONCRETE
SCREWS - 24" ON CENTER

JOIST HANGER TYR
700 LB. CAPACITY

2x10 JOISTS
12" ON CENTER

2- 2x12 BEAM
IN NOTCHED 6x6

1' OVER-
HANG

7' BEAM SPAN

7' BEAM SPAN

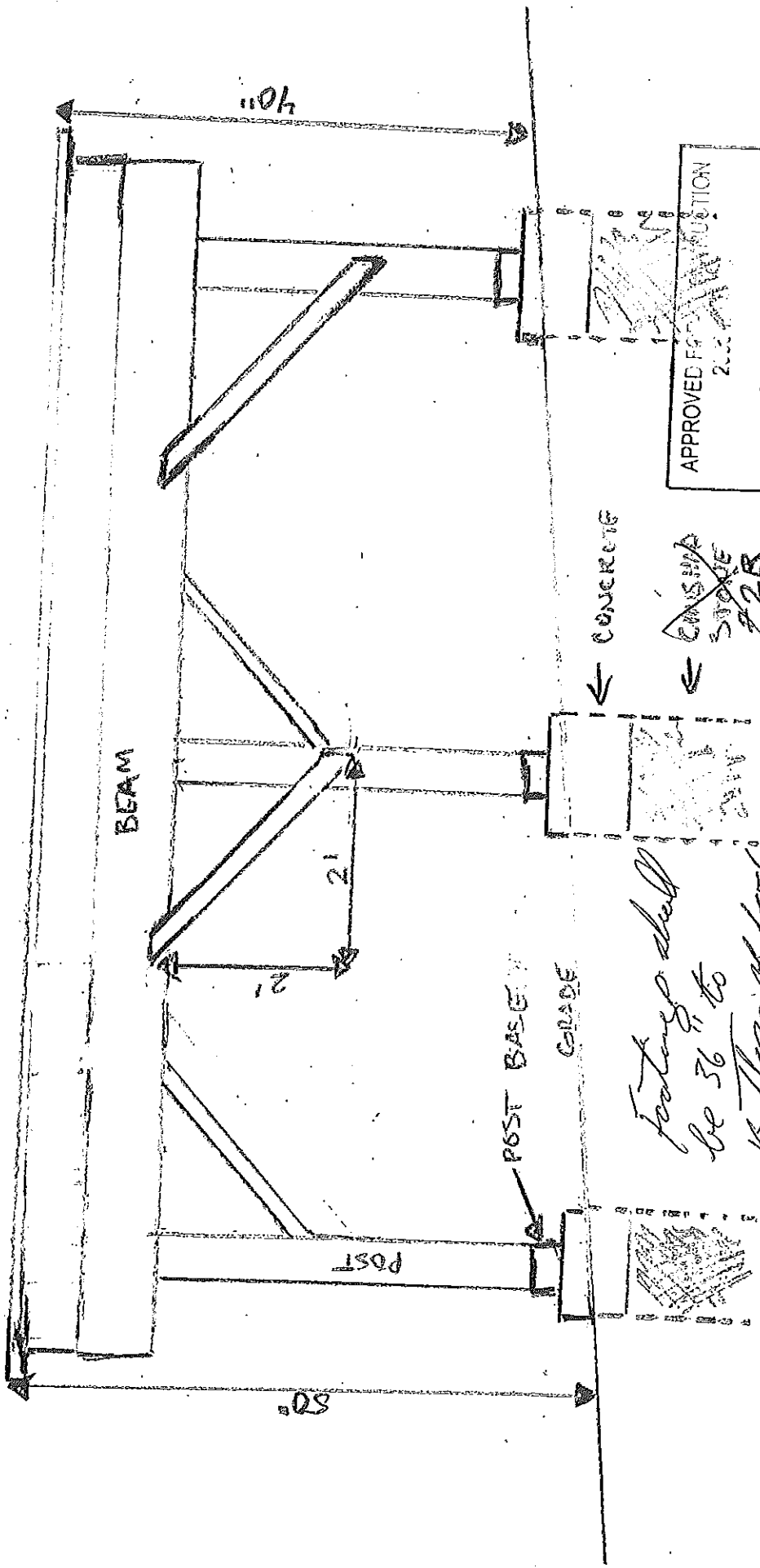
1' OVER-
HANG

STAIR STRINGERS
12" ON CENTER

APPROVED FOR CONSTRUCTION
2009 IRC/IRC

OCT 02 2014

Handwritten Signature 000163



APPROVED FOR CONSTRUCTION
 2014
 OCT 02 2014
St. ...

← CONCRETE
 ← ~~EXISTING~~ STONE #28

Footings shall be 36" to Bottom of footing

Handwritten notes on the left margin of the page.